

CITY OF SILOAM SPRINGS PLANNING COMMISSION

Tuesday, August 9, 2016 at 4:00 p.m.
City Administration Building
400 N. Broadway

AGENDA

I. Planning Commission

- A. Call to Order
- B. Roll Call
- C. Approval of Minutes of the regular meeting of July 12, 2016
- D. Development Permit Approval

- 1. Rezoning Development Permit, RZ16-06
I-1 to C-2
1084 & 1198 Hwy. 412 E.
Owner: Pamela Hammersla
Agent: Michael McGooden
To the Board on **September 6, 2016**

- 2. Special Use Development Permit, SU16-01
1084 Hwy. 412 E.
Owner: Pamela Hammersla
Agent: Michael McGooden
To the Board on **September 6, 2016**

- 3. Significant Development Permit, SD16-07
2300 block of Hwy. 412 E.
Owner: Patty King / Terry Clark
Agent: Blew and Associates – Jorge DuQuesne, PE.
To the Board on **September 6, 2016**

E. Staff Approved Permits

- 1. Lot Consolidation Permit, LC16-02
1893 and 1894 N. Midland Knoll Court
Owner: Jan and Mel Phillips
Agent: Jim Caldwell, PLS

F. Adjourn the Planning Commission

MINUTES OF THE REGULAR MEETING
OF THE PLANNING COMMISSION OF THE
CITY OF SILOAM SPRINGS, BENTON COUNTY,
ARKANSAS, HELD JULY 12, 2016

The Planning Commission of the City of Siloam Springs, Benton County, Arkansas, met in regular session at the City Administration Building, Tuesday, July 12, 2016.

The meeting was called to order by Chairman Mounger.

Roll Call:

Williams, Smith, Engle, Blakely, Nation, Mounger – Present.

City Clerk, Renea Ellis; City Planner, Ben Rhoads; City Engineer, Justin Bland; City Attorney, Jay Williams; Don Clark, Community Services Director, all present.

A copy of the June 14, 2016 regular minutes had previously been given to each Commissioner. A motion was made by Engle and seconded by Blakely to accept the minutes.

Mounger called for a voice vote.

All Ayes. No Nays. Motion passed.

The first item on the agenda was a Lot Split Development Permit, LS16-06, 2100 Block of Ravenwood Plaza, A&H Ravenwood LLC, Civil Engineering, Inc. – Ron Homeyer, PE. Ben Rhoads, City Planner, briefed the item. Nation asked if the access easement is wide enough to be considered a street. Rhoads stated no, only a driveway. A Motion to approve was made by Smith and seconded by Williams.

Roll Call:

Smith, Engle, Blakely, Nation, Mounger, Williams – Aye.

6 Ayes. No Nays. Motion passed.

The next item on the agenda was a Lot Split Development Permit, LS16-07, 1000 Block of Cheri Whitlock Dr., Scarbrough Family Trust – Alice E. Scarbrough, Trustee, Ghan & Cooper Commercial Properties – Stuart Ghan.

Ben Rhoads, City Planner, briefed this item as well as the next rezone item. Nation asked if the rezoning only allows them to have a different use for the lots. Rhoads answered yes. Mounger stated this item and the next will be voted on separately. Stuart Ghan, 4611 Rogers Ave., Fort Smith, introduced himself. Smith asked what the present plans were. Ghan stated they are working with Dollar General. A Motion to approve was made by Nation and seconded by Williams.

Roll Call:

Engle, Blakely, Nation, Mounger, Williams, Smith – Aye.

6 Ayes. No Nays. Motion passed.

The next item on the agenda was a Rezone Development Permit, RZ16-04, C1-A to C-2, 1000 Block of Cheri Whitlock Dr., Scarbrough Family Trust – Alice E. Scarbrough, Trustee, Ghan & Cooper Commercial Properties – Stuart Ghan.

A Motion to approve was made by Smith and seconded by Blakely.

Roll Call:

Blakely, Nation, Mounger, Williams, Smith, Engle – Aye.

6 Ayes. No Nays. Motion passed.

Chairman Mounger announced this will go to the Board of Directors on August 2, 2016.

The next item on the agenda was a Rezoning Development Permit, RZ16-03, from C-2 and R-2 to G-I, 100 Hwy. 412 W., City of Siloam Springs, Police Department.

Ben Rhoads, City Planner, briefed the item. Engle asked if area will be screened. Rhoads answered yes, with a 6 foot opaque wall. Don Clark, Community Services Director, stated there may be some brick along the frontage. He stated the impound lot will not be permanent; but only used to store vehicles involved in an investigation to comply with chain of custody. He stated there was a possibility of additional building being built at a later time for a processing lab. A Motion to approve was made by Williams and seconded by Nation.

Roll Call:

Nation, Mounger, Williams, Smith, Engle, Blakely – Aye.

6 Ayes. No Nays. Motion passed.

Chairman Mounger announced this will go to the Board of Directors on August 2, 2016.

The next item on the agenda was a Rezoning Development Permit, RZ16-05, R-2 to G-I, 1611 Cheri Whitlock Dr., New Life Church of Siloam Springs, Inc., Civil Engineering, Inc. – Ron Homeyer, PE.

Ben Rhoads, City Planner, briefed the item as well as the accompanying Significant Development Permit. Engle asked what the use of the gravel paving was. Rhoads stated it is for overflow parking. Nation asked if he has looked over the drainage study. Rhoads answered no, not yet; should be turned in prior to Board of Directors review. Ron Homeyer, 701 S. Mt. Olive, stated the gravel area would be used for overflow parking along with a dock in back for loading or unloading. He also stated drainage will be worked out. A Motion to approve with conditions was made by Nation and seconded by Williams.

Roll Call:

Mounger, Williams, Smith, Engle, Blakely, Nation – Aye.

6 Ayes. No Nays. Motion passed.

Chairman Mounger announced this will go to the Board of Directors on August 2, 2016.

The next item on the agenda was a Significant Development Permit, SD16-06, 1611 Cheri Whitlock Dr., New Life Church of Siloam Springs, Inc., Civil Engineering, Inc. – Ron Homeyer, PE.

A Motion to approve with conditions was made by Smith and seconded by Blakely.

Roll Call:

Williams, Smith, Engle, Blakely, Nation, Mounger – Aye.

6 Ayes. No Nays. Motion passed.

Chairman Mounger announced this will go to the Board of Directors on August 2, 2016.

The next item on the agenda was a Significant Development Permit, SD16-03, Shoppes at Siloam, 2998 Hwy. 412 E, Ronnie Self & James Pruden / Commercial Realty NWA, LLC, Jeff Kemp, Bates & Associates, Inc. – Geoff Bates, PE.

Ben Rhoads, City Planner, briefed the item. Nation clarified details on the entrances. Rhoads concurred; and said shared access is used when available to avoid cuts on the highway for safety. Engle asked if there will be any restrictions on left turns. Rhoads answered he does not know of any. Jeff Bates, 7230 S. Pleasant Ridge Drive, stated Rhoads did a good job presenting and has nothing else to add. A Motion to approve with conditions was made by Blakely and seconded by Nation.

Roll Call:

Smith, Engle, Blakely, Nation, Mounger, Williams – Aye.

6 Ayes. No Nays. Motion passed.

Chairman Mounger announced this will go to the Board of Directors on July 19, 2016.

The next item on the agenda was a Significant Development Permit, SD16-05, 3451 Hwy. 412 E., Molly LLC, Landrum Group, LLC – Stephen Landes, PE.

Ben Rhoads, City Planner, briefed the item. Smith asked if the detention ponds in the back have a drain or evaporation. Justin Bland, City Engineer, stated they will be piped underground through Lowes' parking lot and out. Steve Landes, 903 NE 9th Street, Shawnee, OK, stated what type of restaurant it will be and that everything had been covered by staff. He said he is available for any questions. Smith asked if a traffic jam will result due to the heavy flow at Wendy's entrance/exit. Rhoads stated having the aligned drives are the best situation; and there were no drives on the highway.

A Motion to approve with conditions was made by Nation and seconded by Smith.

Roll Call:

Engle, Blakely, Nation, Mounger, Williams, Smith – Aye.

6 Ayes. No Nays. Motion passed.

Chairman Mounger announced this will go to the Board of Directors on July 19, 2016.

Mounger announced this is Tony Williams last meeting, and expressed his appreciation. Williams thanked everyone for the opportunity to serve as a Commissioner. He stated he is resigning, remarrying, and moving to Fayetteville.

There being no further business, a Motion was made by Williams and seconded by Smith to adjourn. A voice vote was taken. All ayes. Meeting Adjourned.

APPROVED:

ATTEST:

Karl Mounger, Chairman

Renea Ellis, City Clerk

{Seal}



STAFF REPORT

TO: Planning Commission
FROM: Ben Rhoads, AICP, Senior Planner *BZR*
Cc: Don Clark, Community Services Director
DATE: July 15, 2016
RE: Rezoning Development Permit, RZ16-06/ Rezone from I-1 to C-2.

Recommendation: Approval of RZ16-06 (Rezone Development Permit).

Background:

APPLICATION REVIEW DATES

Planning Commission review: August 9, 2016

Board of Directors review: September 6, 2016

APPLICANT AND AGENT

Applicant/Owner: Pamela Hammersla

Agent: Michael McGooden

SUBJECT PROPERTY ADDRESS

1084 & 1198 Hwy. 412 East

INTERNET MAP INFORMATION

Planning staff has created a map made with Google My Maps.

Attribution: Map data ©2016 Google Imagery ©2016, Arkansas GIS, DigitalGlobe, Landsat, State of Arkansas, USDA Farm Service Agency, Washington County.

Please click on the following link to access. This link will only operate if reading this report digitally.

https://drive.google.com/open?id=1yJdPvc6gn_xWPID60AaVDUVu5Tg&usp=sharing

PROJECT INTENT

The applicant desires to rezone a 8.03 metes and bounds parcel from I-1 (Industrial) to C-2 District (Roadway Commercial).

REFERENCE APPLICATIONS

The following application is associated with this request: SU16-01 (Special Use Dev. Permit).

EXISTING LAND USES AND ZONING

<i>EXISTING LAND USE</i>	<i>EXISTING ZONING</i>
Abandoned Retail/ Active Office	I-1 District (Industrial)
<i>PROPOSED LAND USE</i>	<i>PROPOSED ZONING</i>
Liquor Store	C-2 District (Roadway Commercial)
<i>SURROUNDING LAND USE</i>	<i>SURROUNDING ZONING</i>
North: Commercial—Retail/ Residential, single-family	North: I-1 District (Industrial)/ C-2 District (Roadway commercial)/ R-2 District (Residential, medium)
South: Industrial—Factory	South: I-1 District (Industrial)
East: Commercial—Retail/ Industrial—Storage Area	East: I-1 District (Industrial)
West: Industrial—Storage Area	West: I-1 District (Industrial)

ZONING USE UNIT CONSISTENCY

Liquor stores fall within Use Unit 24 (Retail controlled beverage sales). Use Unit 24 is permitted in the proposed C-2 District through a Special Use permit only. See reference applications section of this report.

LOT STANDARDS CONSISTENCY

The minimum C-2 zone standards are compared with the subject property’s tracts below.

<i>MINIMUM (C-2) ZONING REQUIREMENTS</i>	<i>SUBJECT PROPERTY PROPOSAL</i>
Lot Area: 8,000 sq. ft.	8.03 acres
Lot Width: 80 ft.	Approx. 660 ft.
Maximum Lot Coverage: 85%	Approx. 10 %
Maximum Floor to Area Ratio: 0.6 (60%)	Approx. 0.01 or 1%

STAFF DISCUSSION

The applicant requests rezoning 1084 and 1198 Hwy. 412 East from I-1 to C-2, this is the site of a former flea market and an existing employee staffing office. This site is west of Ashley Furniture, and south of a large industrial lake. The lake occupies the majority of the acreage of the site and is not available for development. The lake was one time used by PipeLife, the factory to the south of the subject property, for their cooling facility. The lake is no longer used by the factory. The request was prompted by the City’s review of a liquor store relocation request for Magoo’s Liquor Store, which was formerly located at 2998 Hwy. 412 East. Due to the approval of a shopping center (The Shoppes at Siloam) at the existing site, the owner of the liquor store has requested to relocate to the subject property, 1084 Hwy. 412 East, which is the longer building and the former site of the flea market/antique store. The existing location is set to be demolished in preparation for the development of the shopping center. For more on the liquor store, consult staff memo SU16-01. The office use (1198 Hwy 412 E) is compatible with the proposed C-2 zone.

In order to allow for a liquor store, the property must be rezoned to either C-1 or C-2. These are the only zones that permit these stores by special use permission. The former retail use of 1084 is no longer considered legal non-conforming. Furthermore, staff advised the owner of the store that given the use unit is changing from general retail to controlled beverage sales, a rezone is required. The area is best described as a mix between industrial and roadway commercial uses. A furniture store exists east of the site. The future land use map indicates this area as appropriate for commercial and industrial uses. Given that the site has traditionally been used for commercial and that the factory no longer needs to use the lake, staff has no technical concerns with the rezoning proposal.

LEGAL NOTICE

Staff received no information that:

- the proposal interferes with the reasonable peace or enjoyment of the neighboring properties;
 - the property values may be substantially damaged;
 - the proposal may impact the present or future uses of neighboring properties;
 - the proposal is not adequately supported by infrastructure.
-
- Site posted: July 1, 2016.
 - Newspaper legal notification: July 10, 2016 (Herald-Leader).
 - Letter legal notification: July 12-15, 2016.
 - Staff received no phone calls or correspondence.

COMPREHENSIVE PLAN CONSISTENCY

The 2030 future land use map describes this area as commercial and office and industrial. Staff believes, due to the nature of the existing office and historic commercial use, that the C-2 zone is appropriate for this property. The following zone(s) are appropriate according to the designation: C-2; C-1A; I-1; I-2.

Fiscal Impact:

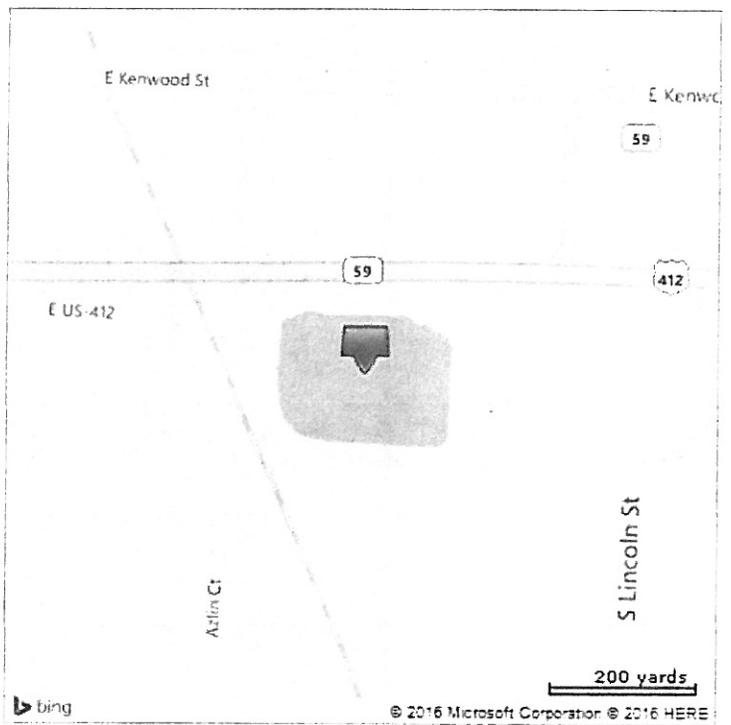
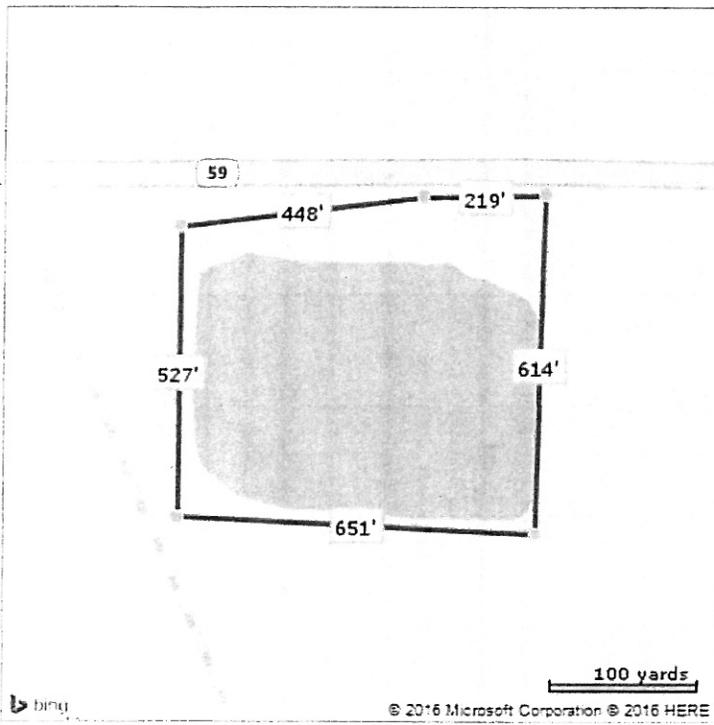
No impact is anticipated.

Attachments:

Site Plan
Bird's Eye View
General Area Map

1st Submittal
RZ16-06

Property Map



*Lot Dimensions are Estimated

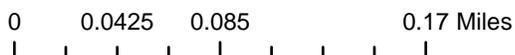
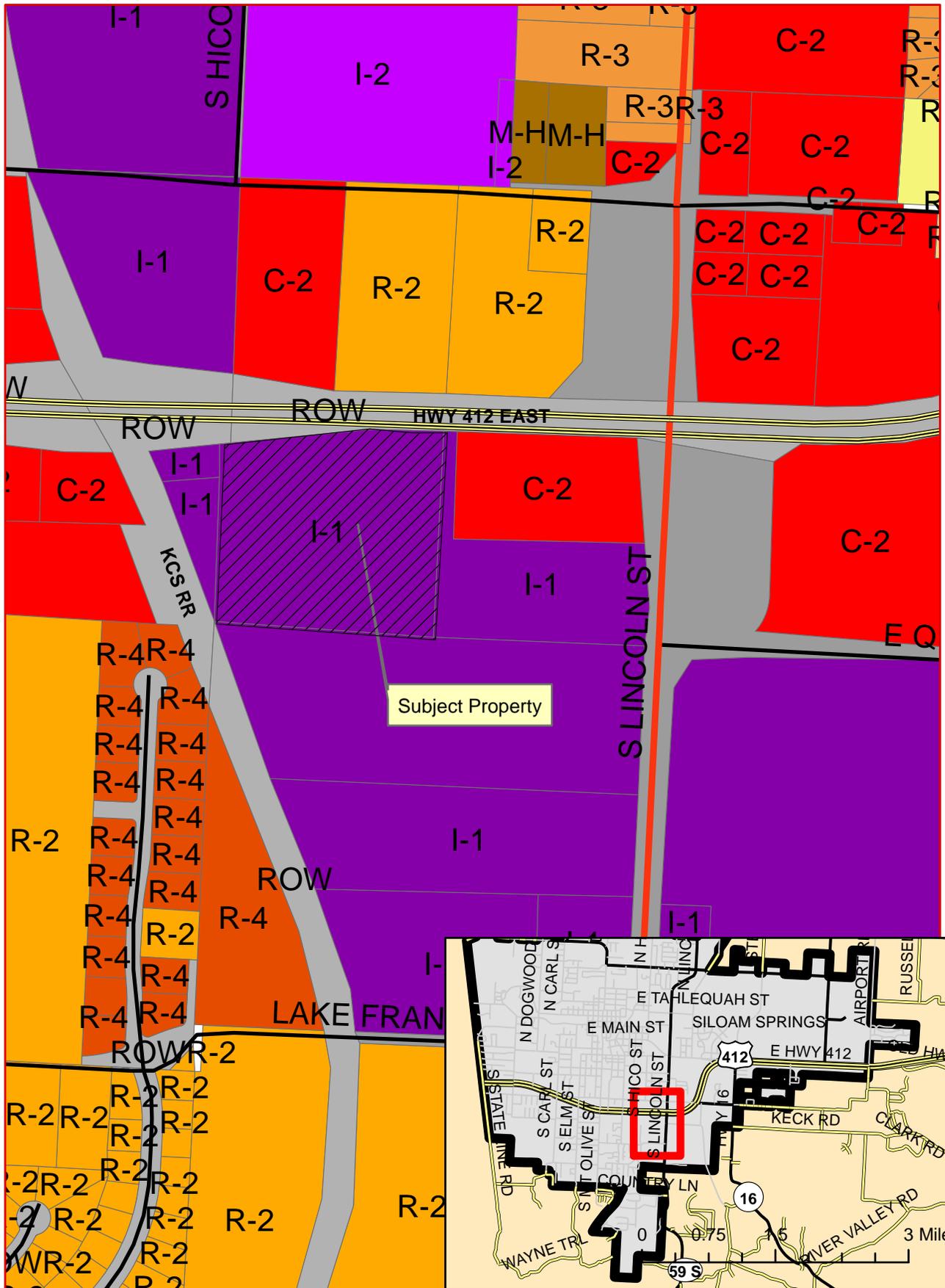
RZ16-06 / SU16-01

Bird's Eye View



GENERAL AREA MAP

Rezone Development RZ 16-06





STAFF REPORT

TO: Planning Commission
FROM: Ben Rhoads, AICP, Senior Planner *BZR*
Cc: Don Clark, Community Services Director
DATE: July 15, 2016
RE: Special Use Development Permit, SU16-01

Recommendation: Approval of SU16-01 (Special Use Development Permit), subject to the following conditions:

- 1.) The applicant must successfully rezone the property described as 1084 and 1198 Hwy. 412 East to C-2 (Roadway Commercial), prior to any beneficial use of the property by the applicant.
- 2.) The applicant must receive approval from the Arkansas Alcohol beverage Control agency, prior to the City Board of Directors' review.

Background:

APPLICATION REVIEW DATES

Planning Commission review: August 9, 2016

Board of Directors review: September 6, 2016

APPLICANT AND AGENT

Applicant/Owner: Pamela Hammersla

Agent: Michael McGooden

SUBJECT PROPERTY ADDRESS

1084 Hwy. 412 East

INTERNET MAP INFORMATION

Planning staff has created a map made with Google My Maps.

Attribution: Map data ©2016 Google Imagery ©2016, Arkansas GIS, DigitalGlobe, Landsat, State of Arkansas, USDA Farm Service Agency, Washington County.

Please click on the following link to access. This link will only operate if reading this report digitally.

https://drive.google.com/open?id=1yJdPvc6gn_xWPID60AaVDUVu5Tg&usp=sharing

PROJECT INTENT

The applicant requests to relocate an existing liquor store from 2998 Hwy. 412 E. to 1084 Hwy. 412 E.

REFERENCE APPLICATIONS

The following applications are associated with this request: RZ16-06 (Rezone Dev. Permit).

EXISTING LAND USES AND ZONING

<i>EXISTING LAND USE</i>	<i>EXISTING ZONING</i>
Abandoned Retail/ Active Office	I-1 District (Industrial)
<i>PROPOSED LAND USE</i>	<i>PROPOSED ZONING</i>
Liquor Store	C-2 District (Roadway Commercial)
<i>SURROUNDING LAND USE</i>	<i>SURROUNDING ZONING</i>
North: Commercial—Retail/ Residential, single-family	North: I-1 District (Industrial)/ C-2 District (Roadway commercial)/ R-2 District (Residential, medium)
South: Industrial—Factory	South: I-1 District (Industrial)
East: Commercial—Retail/ Industrial—Storage Area	East: I-1 District (Industrial)
West: Industrial—Storage Area	West: I-1 District (Industrial)

ZONING USE UNIT CONSISTENCY

Liquor stores fall within Use Unit 24 (Retail controlled beverage sales). Use Unit 24 is permitted in the proposed C-2 District through a Special Use permit only. See reference applications section of this report.

LOT STANDARDS CONSISTENCY

The minimum C-2 zone standards are compared with the subject property's tracts below.

<i>MINIMUM (C-2) ZONING REQUIREMENTS</i>	<i>SUBJECT PROPERTY PROPOSAL</i>
Lot Area: 8,000 sq. ft.	8.03 acres
Lot Width: 80 ft.	Approx. 660 ft.
Maximum Lot Coverage: 85%	Approx. 10 %
Maximum Floor to Area Ratio: 0.6 (60%)	Approx. 0.01 or 1%

STAFF DISCUSSION

Due to the approval of a shopping center (The Shoppes at Siloam), the owner of Magoo's Liquor store has requested to relocate the liquor store, formerly located at 2998 Hwy. 412 E., to the subject property, 1084 Hwy. 412 E. The existing location is set to be demolished. The former use of 1084 Hwy. 412 E. was a flea market and antique store. This site is west of Ashley Furniture, south of a large industrial lake, and east of the KCS railroad line. In addition, an employee staffing agency is located on the same parcel at 1198 Hwy. 412 E. Apart from additional parking on the site, the staffing agency will be unaffected by the applicant's request. In addition to this permit application, the applicant is requesting to rezone the subject property tract from I-1 (Industrial) to C-2 (Roadway Commercial). The successful rezoning of the property is a conditional contingency on this special use approval, as the special use allowance for liquor stores is *only* permitted in the C-1 and C-2 zones. For more on the rezoning request, consult staff report memo RZ16-06.

The applicant is scheduled to receive authorization to relocate the liquor store through the Arkansas Alcohol Beverage Control (ABC) Board on August 16, 2016. Staff has added a condition that the ABC approval be submitted to the City prior to Board review of this application. The ABC approval documentation will be attached to this report when it is made available. Furthermore, the applicant's business license application is pending on the outcome of this application. There are no churches or schools, to staff's knowledge, within 1000 feet of the proposed store. The closest known church is approximately 2,450 feet to the west-by-northwest. While traffic will increase slightly, it should not be at such a level as to exceed that of the historic uses occurring on the site. No new driveways are proposed, the applicant will use the building "as is" with minor renovations made inside appropriate for the store's use.

According to the City Code, Chapter 54, the following criteria should be used when determine if a special use permit should be granted:

"Planning commission advice. The planning commission's advice shall reflect whether the applicant has convincingly demonstrated that the proposed special use or prohibited use:

- a. Will not interfere with other owners' reasonable peace and enjoyment of their neighboring properties;
- b. Will not substantially damage, without fair recompense, any property value in the neighborhood;
- c. Will not, whether by the nature of the use, or by the siting, height, or design of structures or landscaping, tend to burden the present or future use of neighboring properties in accordance with current zoning standards;
- d. Is adequately supported by infrastructure, including without limitation, water and sewage systems, streets, parking, and drainage;
- e. Is consistent with sound planning of the city's growth in terms of health, safety, and convenience within the neighborhood and any affected vicinity; and
- f. Promotes economic conditions or public welfare within the city."

As seen in the legal notice section of this report, staff has found no cause as to why this application should not be accepted by the City.

LEGAL NOTICE

Staff received no information that:

- the proposal interferes with the reasonable peace or enjoyment of the neighboring properties;
 - the property values may be substantially damaged;
 - the proposal may impact the present or future uses of neighboring properties;
 - the proposal is not adequately supported by infrastructure.
-
- Site posted: July 1, 2016.
 - Newspaper legal notification: July 10, 2016 (Herald-Leader).
 - Letter legal notification: July 12-15, 2016.
 - Staff received no phone calls or correspondence.

COMPREHENSIVE PLAN CONSISTENCY

The 2030 future land use map describes this area as commercial and office and industrial. Staff believes, due to the nature of the existing office and historic commercial use, that the proposed land use, subject to the rezoning to C-2, is appropriate for this property.

Fiscal Impact:

No impact is anticipated.

Attachments:

- Applicant Letter
- Bird's Eye View
- General Area Map

July 6, 2016

To: Ben Rhoads, AICP, City of Siloam Springs Senior Planner

From: Mike McGooden, McGoo's Liquors

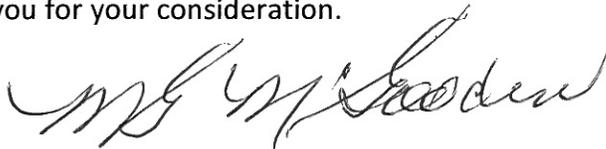
We are making a request to relocate McGoo's Liquor due to the following reasons.

On or about June 1 we were notified that the property at our present location at 2998 E. Highway 412 had been sold. The new owners notified us that we would have to move as they were planning to build a strip mall and the current building would be torn down.

On or about June 8 we contacted Pamela Hutchison concerning her property at 1084 E. Highway 412. We subsequently reached an agreement with her to lease her property at that address. This property is currently zoned I1 and according to city code needs to be rezoned to C2. Since we are putting in a liquor store so it also has to go through Special Use. We have started the procedure to meet all of these requirements.

We have met with the ABC representative, Robert Bacile, to make application for the transfer of our liquor license. Mr. Bacile has confirmed that we meet the requirements necessary for the distance from churches and schools.

Thank you for your consideration.

A handwritten signature in black ink, appearing to read "Mike McGooden". The signature is written in a cursive, flowing style with some loops and flourishes.

Mike McGooden



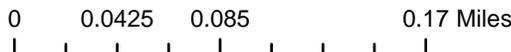
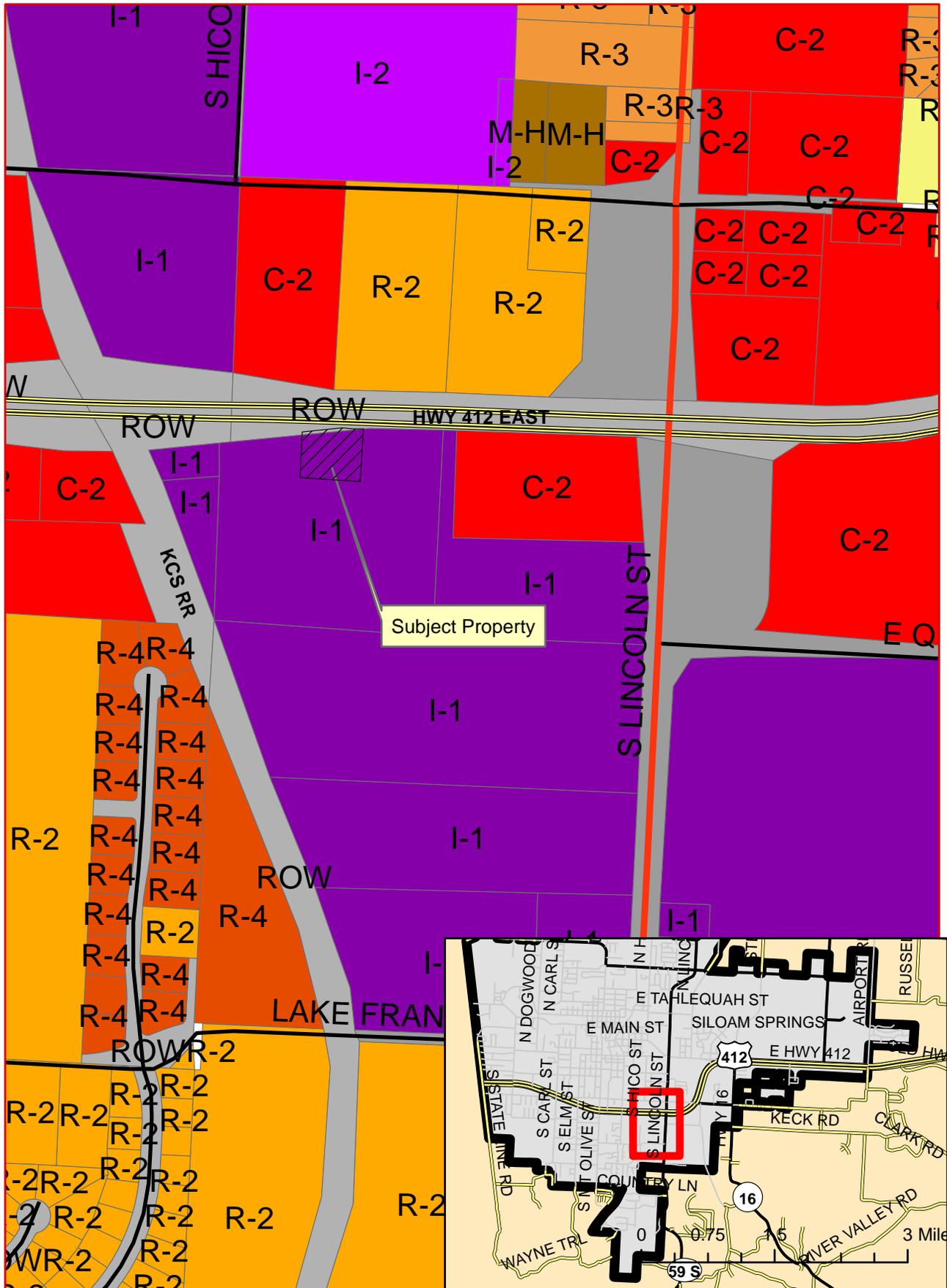
RZ16-06 / SU16-01

Bird's Eye View



GENERAL AREA MAP

Special Use Development SU 16-01





STAFF REPORT

TO: Planning Commission
FROM: Ben Rhoads, AICP, Senior Planner *BZR*
Cc: Don Clark, Community Services Director
DATE: July 15, 2016
RE: Significant Development Permit, SD16-07

Recommendation: Approval of SD16-07 (Significant Development Permit), subject to the following conditions:

- 1.) The applicant must execute a shared access easement, by separate instrument, for the property abutting to the west, prior to building permit issuance.
- 2.) The applicant must execute utility easements as shown on the site plan, by separate instrument, prior to building permit issuance.

Background:

APPLICATION REVIEW DATES

Planning Commission review: August 9, 2016

Board of Directors review: September 6, 2016

APPLICANT AND AGENT

Applicant/Owner: Patty King

Agent: Blew & Associates, PA – Jorge DuQuesne, PE

SUBJECT PROPERTY ADDRESS

2300 Block of Hwy. 412 E.

PROJECT INTENT

The applicant requests to construct a 2,856.45 sq. ft. fast food restaurant.

INTERNET MAP INFORMATION

Planning staff has created a map made with Google My Maps.

Attribution: Map data ©2016 Google Imagery ©2016, Arkansas GIS, DigitalGlobe, Landsat, State of Arkansas, USDA Farm Service Agency Washington County.

Please click on the following link to access. This link will only operate if reading this report digitally.

https://drive.google.com/open?id=1yJdPvc6gn_xWPID60AaVDUVu5Tg&usp=sharing

EXISTING LAND USES AND ZONING

<i>EXISTING LAND USE</i>		<i>EXISTING ZONING</i>
Vacant Lot		C-2 District (Roadway Commercial)
<i>PROPOSED LAND USE</i>		<i>PROPOSED ZONING</i>
Fast food restaurant		No zoning change is proposed
<i>SURROUNDING LAND USE</i>		<i>SURROUNDING ZONING</i>
North:	Commercial—Bank/ Vacant lot	North: C-2 District (Roadway Commercial)
South:	Vacant lot/ Agricultural	South: R-2 District (Residential, medium)
East:	Commercial—Motel	East: C-1 District (General Commercial)
West:	Retail – Auto sales/ Retail—Farm equipment sales	West: C-2 District (Roadway Commercial)

ZONING USE UNIT CONSISTENCY

The subject proposal is consistent with the medium impact commercial uses associated with Use Unit 15, which is permitted in C-2 District.

LOT STANDARDS CONSISTENCY

The minimum C-2 zones standards are compared with the subject property’s tracts below.

<i>MINIMUM (C-2) ZONING REQUIREMENTS</i>	<i>SUBJECT PROPERTY PROPOSAL</i>
Lot Area: 8,000 sq. ft.	2.00 acres
Lot Width: 80 ft.	179 ft. (approx.)
Maximum Lot Coverage: 85 %	39.8 % (approx.)
Maximum Floor to Area Ratio: .60 (60%)	0.03 or 3%

PARKING STANDARDS CONSISTENCY

According to Municipal Code Sec. 102-75(1)(a)(8), parking is calculated by the square footage of the proposed restaurant. The formula is 1 space for every 100 feet of floor area.

<i>USE</i>	<i>REQUIRED PARKING</i>	<i>EXISTING PARKING</i>	<i>NET PROPOSED PARKING*</i>	<i>PARKING SURPLUS/ DEFICIT</i>
Restaurant	28.56	0	50	+21

*Includes ADA accessible spaces

STAFF DISCUSSION

The applicant is requesting the construction of a 2,856 sq. ft. fast food restaurant branded as Burger King, on a vacant lot south of the Bank of the Ozarks and west of the Budget Inn. This is the second location for this business; the first location was planned for the former site of TDS Storage Buildings sales, 350 feet to the east. This significant development was approved through the Board of Directors earlier this year, however the applicant elected to relocate the facility to the proposed new site.

The proposal is nearly identical to the original design reviewed earlier this year. The building size is the same, with nearly an identical parking lot layout. The lot is nearly one acre larger than the first site, which has allowed for more flexibility for green space buffers and lot coverage. Due to the larger site, no variances are required for the proposal. Two driveways are planned. The drive-thru drive will be design as a right out only and the main drive will allow for shared access with NWA Street Works, the property due west of the site. The main drive is designed to be entirely on the subject property. The current (east) drive for NWA Street works will be closed. NWA Street Works requested that the area in front of the business be left open to preserve the car sales display area. It appears that the auto business primarily uses this space for vehicle display and not as a functional drive. The shared drive will cut down on additional access onto Hwy. 412, which will improve traffic safety. Unlike the last proposal, the subject property is too deep for a third drive onto Hwy. 16. The new driveway meets Code spacing requirements.

Staff contacted the City Engineer and preliminary findings indicate that the proposal will cause an acceptable traffic impact to the area; however staff believes that the east exit drive from the drive-thru window will need to be right out only in order to avoid issues with the main Hwy. 412 drive. The drive-thru drive egress is designed with an eastward curvature to physically require the forced right. Vehicles wishing to travel west can access the main driveway through a connector drive located in front of the restaurant.

The proposal includes a sidewalk fronting on Hwy. 412 and a sidewalk to connect to the restaurant to fully accommodate foot traffic. The proposal meets all requirements for parking lot development and is offering a surplus of 21 parking spaces. The applicant is reluctant to reduce parking due to the foreseen demand for the facility. Staff can attest that this was the case for Wendy's and The Panda Express restaurants. The parking lot will contain ample interior islands with trees and will be lit at night. Street fees are not applicable due to the project occurring on Hwy. 412. Drainage will be detained on site through a detention basin located along the highway frontage, this is similar to the design for the Shoppes of Siloam significant development permit reviewed at the July 12, 2016 Planning Commission.

Sufficient water is provided from the north through a road bore under Hwy. 412. All other utilities are located on site. Staff has requested two conditions: the first relates to the shared access drive, this is not yet filed and will be executed prior to the building permit issuance; the second condition relates to the perimeter utility easements, the shown utility easements will need to be executed by separate instrument prior to the building permit issuance. With the exception of the two stated staff suggested conditions, the proposal meets or exceeds all City standards and all technical comments have been addressed by the applicant.

LEGAL NOTICE

Staff received no information that:

- the proposal interferes with the reasonable peace or enjoyment of the neighboring properties;
 - the property values will be substantially damaged;
 - the proposal is not adequately supported by infrastructure.
-
- Site posted: July 01, 2016.
 - Newspaper legal notification: July 24, 2016 (Herald-Leader).
 - Letter legal notification: July 18-21, 2016.
 - Staff received no phone calls or correspondence.

COMPREHENSIVE PLAN CONSISTENCY

The 2030 Land Use Map describes this area as commercial and office. The proposed use is consistent with the 2030 Land Use Map.

Fiscal Impact:

Street fees are not applicable for this project. No fiscal impact is anticipated.

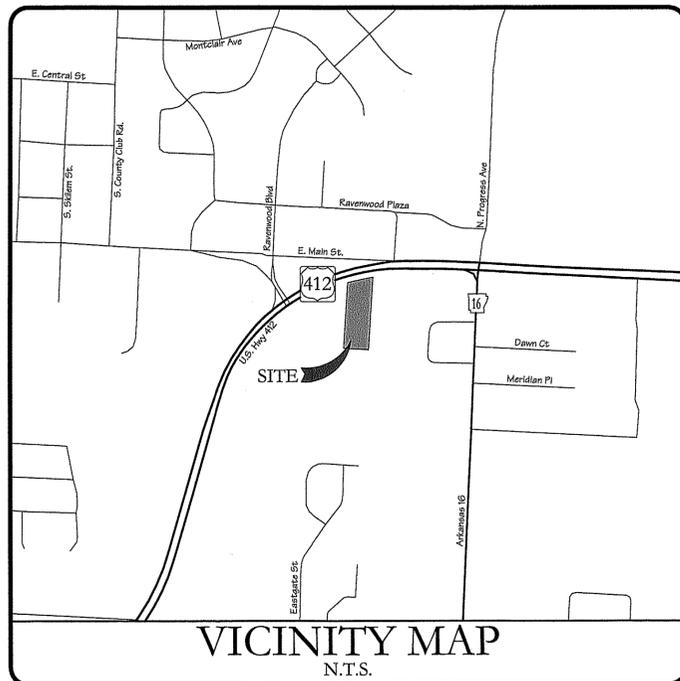
Attachments:

- Site Specific Proposal
- Bird's Eye view of Subject Property
- Plan Aerial Overlay
- General Area Map

Burger King of Siloam Springs

US-412

Siloam Springs, Arkansas



*** Engineers Notice ***
The existence and location of any underground utility pipes or structures shown on these drawings are obtained by a search of the available records to the best of our knowledge and belief. It is the responsibility of the contractor to verify the accuracy of the utility lines shown, and all other lines not of record or not shown on these drawings by verification of their location in the field prior to the initiation of the actual portion of the their work.

*** Document Ownership ***
This document, and the ideas and designs incorporated herein as and instrument of professional services, is the property of Blew & Associates, P.A. and is not to be used, in whole or part, for any other project without the written authorization of Blew & Associates, P.A.

General Notes:

- A minimum of forty eight (48) hours prior to any excavation or grading, Contractor shall contact the State One-Call system at 811 to locate all underground utilities. The Contractor shall notify the Engineer of Record immediately in the event that underground utilities are not shown on plan and / or conflict with proposed civil works.
- The Engineer of record shall not be held responsible for survey inaccuracies, survey omissions, or for design errors or omissions resulting from an inaccurate survey.
- Construction Contractor and his Subcontractors agree that in accordance with generally accepted construction practices and OSHA safety standards, Construction Contractor and his Subcontractors will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property; that this requirement shall be made to apply continuously and not limited to normal working hours, and construction Contractor and his Subcontractors further agree to defend, indemnify and hold Design Professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, except liability arising from the sole negligence of design professional.
- It is the responsibility of the Contractor to maintain all erosion and sediment control devices through all phases of construction. Erosion and sediment control devices may only be removed upon 70% stabilization of the site as defined by the State's Department of Environmental Quality's General Permit for Construction.
- The Contractor is to be solely responsible for any damage to neighboring properties during construction of this project.
- This project was designed in accordance with currently accepted industry design standards. The Engineer of Record does not warrant any work completed on site unless direct inspection by the Engineer of Record & proper testing by a state certified qualified inspection lab occurs during all phases of construction.
- The Contractor shall review the construction documents prior to any construction, and notify the Engineer of Record immediately upon discovery of any discrepancies that may occur on the drawings. All work shall discontinue until such time that the Engineer of Record has resolved said discrepancy.
- The Contractor shall be responsible for disposal of construction waste materials including but not limited to demolition materials, debris, contaminated soils / materials, etc. in a lawful manner, at state and federally accepted disposal sites.
- The Contractor is responsible for obtaining and constructing in accordance with the stricter of these construction documents and any associated details & specifications; and all municipalities / governing agencies' standards and specifications for construction.
- This drawing set and associated site, grading, utility, etc. plans are representations of the construction design and shall not be scaled to determine dimensions.

Survey Description

PARCEL ID: 03-00106-001

A PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 17 NORTH, RANGE 33 WEST, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF SAID 40-ACRE TRACT, AND RUNNING S 04°50'32" W 60.00', N 87°29'28" W 440.00', N 88°55'26" W 257.75', AND S 80°46'11" W 51.57' TO THE TRUE POINT OF BEGINNING, SAID POINT BEING A FOUND 1" PIPE, AND RUNNING THENCE S 03°23'52" W 515.79' TO A FOUND 1" PIPE, THENCE N 86°50'12" W 176.97', THENCE N 03°22'16" E 466.20' TO A FOUND 1" PIPE, THENCE N 74°33'53" E 31.00' TO A FOUND CAPPED REBAR PLS #1486, THENCE N 78°08'59" E 153.24' TO THE POINT OF BEGINNING, CONTAINING IN ALL 2.00 ACRES, MORE OR LESS. SUBJECT TO EASEMENTS AND RIGHTS OF WAY RECORD.

Contact Information:

DEVELOPER:
Terry Clark; L.W. Clark, Inc.
1509 Wesley Boulevard
Springdale, AR 72764

OWNER:
Patty King
14600 S. Mountain Road
Lowell, AR 72745

CIVIL ENGINEER:
Blew & Associates, PA
524 West Sycamore St, Suite 4
Fayetteville, AR 72703
Ph: (479) 443-4506
Fax: (479) 582-1883

LAND SURVEYOR:
Blew & Associates, PA
524 West Sycamore St, Suite 4
Fayetteville, AR 72703
Ph: (479) 443-4506
Fax: (479) 582-1883

CITY OF SILOAM SPRINGS:
400 N Broadway Street
Siloam Springs, AR 72761

Building Department
Randal Clark, Building Official
Ph: (479) 373-1453

Electric Department
John Bland, Superintendent
Ph: (479) 524-3777

Engineering Department
Justin Bland, Engineer
Ph: (479) 524-5136

Planning Department
Ben Rhoads, AICP, Senior Planner
Ph: (479) 238-0927

CITY OF SILOAM SPRINGS (Cont'd):
Water / Wastewater Department
Steve Gorszczyk
Ph: (479) 524-5136

Fire Department
Deputy Chief Todd Colvin, Fire Marshall
1450 Cheri Whitlock
Siloam Springs, AR 72761
Ph: (479) 524-3103

Police Department
100 Highway 412 W.
Siloam Springs, AR 72761
(479) 524-4118 (Non-Emergency)

Solid Waste / Streets Department
Don Tension
1108 E. Ashley
Siloam Springs, AR 72761
Ph: (479) 524-8512

SOURCE GAS:
Dery Birdsong
Ph: (479) 582-8631

COX:
Terry Frank
Terry.Frank@cox.com

CENTURYTEL:
Michael Edwards
Michael.Edwards@CenturyTel.com

Sheet Index

Sheet No	Title	Date
CIVIL PLANS		
C1	Cover Sheet	08/02/2016
C2	Site Plan	08/02/2016
C2-1	Landscape Plan	08/02/2016
C3	Demolition and Erosion Control Plan Ph 1	08/02/2016
C3-1	Erosion Control Plan Ph 2	08/02/2016
C3-2	Erosion Control Details	08/02/2016
C4	Grading and Drainage Plan	08/02/2016
C5	Utility Plan	08/02/2016
C6 - C6-3	Burger King Details	08/02/2016
C6-4	Details	08/02/2016
TOPOGRAPHIC SURVEY		
1	Survey (by Blew & Associates, PA)	10/26/2015

Approval Blocks:

PLANNING COMMISSION:
This plan is hereby accepted this _____ day of _____, 2016 by the Secretary of the Siloam Springs Planning Commission on behalf of the Planning Board.

Secretary

BOARD OF DIRECTORS:
This plan is hereby accepted this _____ day of _____, 2016 by the City Clerk of the City of Siloam Springs on behalf of the Board of Directors.

City Clerk

Typical Abbreviation List:

Abbrev.	Description	Abbrev.	Description
RCP	Reinforced Concrete Pipe	TC	Top of Back of Curb (Spot Elevation)
CMP	Corrugated Metal Pipe	G	Gutter / Bottom of Sidewalk (Spot Elevation)
HDPE	High Density Polyethylene Pipe	TW	Top of Wall (Spot Elevation)
SLMP	Smooth Line Metal Pipe	BW	Bottom of Wall at Grade (Spot Elevation)
PVC	Polyvinyl Chloride Pipe	HP	High Point (Spot Elevation)
DI	Ductile Iron Pipe	LP	Low Point (Spot Elevation)
J-Box	Junction Box	TB	Top of Box (Spot Elevation)
FES	Flared End Section	BC	Back of Curb
RW	Retaining Wall	FC	Face of Curb
HW	Head Wall	FH	Fire Hydrant Assembly
WW	Wing Wall	GV	Gate Valve
AE	Access Easement	MJ	Mechanical Joint
DE	Drainage Easement	N	North
TCE	Temporary Construction Easement	E	East
UE	Utility Easement	W	West
BS	Building Setback	S	South

Cover Sheet

Significant Development for:
Burger King of Siloam Springs, AR
US-412
Terry Clark; L.W. Clark, Inc.
1509 Wesley Boulevard
Springdale, AR 72764

NOT FOR
CONSTRUCTION
FOR REVIEW
ONLY!!!

BLEW & ASSOCIATES, PA
CIVIL ENGINEERS & LAND SURVEYORS
524 W. SYCAMORE ST, SUITE 4
FAYETTEVILLE, ARKANSAS 72703
OFFICE: 479.443.4506
FAX: 479.582.1883
www.BLEWINC.com

Certificate of Authorization No 1534

DRAWN BY:	J. Du Quesne	JOB NUMBER:	15-1164
SUBMITTAL DATE:	2016-08-02	SCALE:	As Noted
DRAWING NAME:	16-755 Civil 005.dwg		
SHEET NUMBER:	C1		

Proposed Features:

Feature	Description
	Property Line
	Onsite Property Line
	Offset Property Line
	Right-of-way Line
	Easement Line
	Street / Drive Centerline
	Curb And Gutter (See Site Plan For Size)
	Thickened Edge Of Pavement
	Edge Of Gravel
	Asphalt Pavement (See Detail Sheet For Pavement Sections)
	Concrete Pavement (See Detail Sheet For Pavement Sections)
	Concrete Sidewalk (See Site Plan For Dimensions)
	General Fence Line (See Plan For Type)
	Chain Link Fence Line
	Board Fence Line
	Storm Catch Basin(s)
	Storm Pipe (See Grading Plan For Type And Size)
	Retaining Wall
	See Utility Plan For Line Sizes
	Water Line
	Tee, Cross, Bends, Gate Valve & Reducer
	Fire Hydrant & Assembly
	Single Water Meter
	Double Water Meter
	Sanitary Sewer Force Main
	Sanitary Sewer Line
	Sanitary Sewer Service
	Sanitary Sewer Cleanout
	GAS
	Overhead Electric Line
	Underground Electric Line
	C-TV
	Fiber Optic Line
	Overhead Telephone Line
	Underground Telephone Line
	Utility Pole
	Light Pole

Note:
 * Only symbols that appear on this sheet are shown in this legend.
 * See Survey For Existing Features Legend.
 * See Cover Sheet For Abbreviation List.

Utility Notes:

GENERAL:

- X The contractor shall contact "One-Call" and / or the appropriate utility company a minimum of 48 hours prior to excavation in areas of existing utilities. The contractor is responsible for any damage to underground utility lines and shall make every effort necessary to coordinate with the appropriate utility company for repair of the utility.
- X A minimum of 48 hours prior to start of construction / installation of any utilities, the contractor shall be responsible for contacting the local municipality / governing agency or utility to schedule a pre-construction meeting as required by said municipality / agency / utility. No work shall occur on the site prior to the pre-construction meeting. Contractor shall also be responsible for obtaining any necessary state / local permits for construction.
- X Water and Storm lines shall have a minimum of 18" vertical separation and 10'-0" of horizontal separation from the sanitary sewer lines.
- X All water and sewer force main fittings shall be restrained through the use of thrust blocking per the detail sheets or approved equivalent anchors.
- X Contractor shall refer to architectural or plumbing drawings for utility connection locations for the building.
- X Dimensions are to the face / corner of the building, back of curb, and centerline of pipe and fitting.
- X Contractor shall coordinate disruption of utility service with all surrounding / adjacent property owners.
- X Existing utilities shown on plans have been shown in their approximate locations per available information.
- X Contractor shall obtain authorization of the local municipalities prior to connection to any existing water lines, sewer lines, or sewer manholes. Contractor shall avoid spillage of any raw materials from the sewer system. In the event that a spill occurs, the contractor shall provide all equipment necessary to repair the sewer line, and remove all spill sewage including contaminated soils per the requirements of the local municipality.

GENERAL:

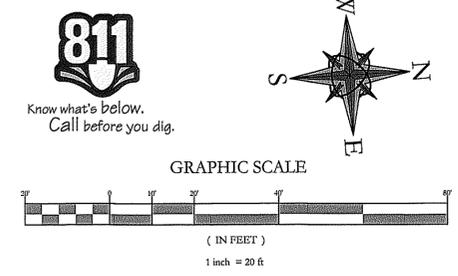
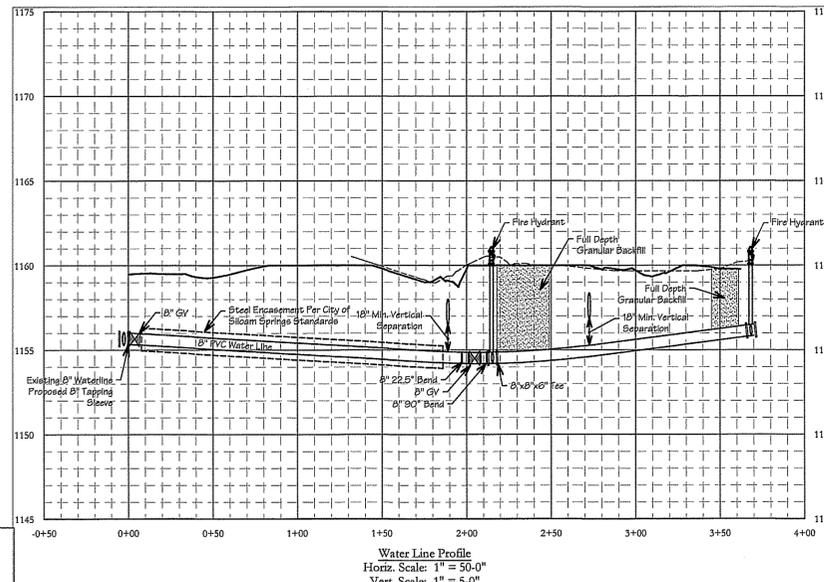
- X Proposed utilities that are to be buried within the same trench shall be coordinated with and approved by the appropriate utility company.
- X Contractor shall field verify depth and location of existing utilities prior to construction of proposed utilities.
- X Fire hydrants shall be installed in accordance with the standards / specification of the local water utility company and local municipality.
- X Proposed utilities shall be constructed in accordance with the standards / specifications of the governing agency.
- X Contractor shall coordinate with appropriate utility company as listed on the cover sheet for adjustment of utility lines affected by cut and fill.
- X Contractor shall coordinate with appropriate utility companies for routing of gas, telephone, cable, and electricity.

WATER:

- X All water service lines shall have 2'-6" min. cover above top of pipe.
- X All water main lines shall have 3'-0" min. cover above top of pipe.
- X All water lines shall be bedded in accordance with city standards and bedding detail, see detail sheet(s).
- X All water lines shall be hydrostatically tested and disinfected in accordance with city standards and with a city inspector present.
- X All fire hydrants shall have a city approved gate valve installed within 5'-0" max. of the hydrant.
- X Any cleanouts, valve boxes, and meter boxes in the pavement area shall be installed with a concrete apron in accordance with the detail sheet.

SANITARY SEWER:

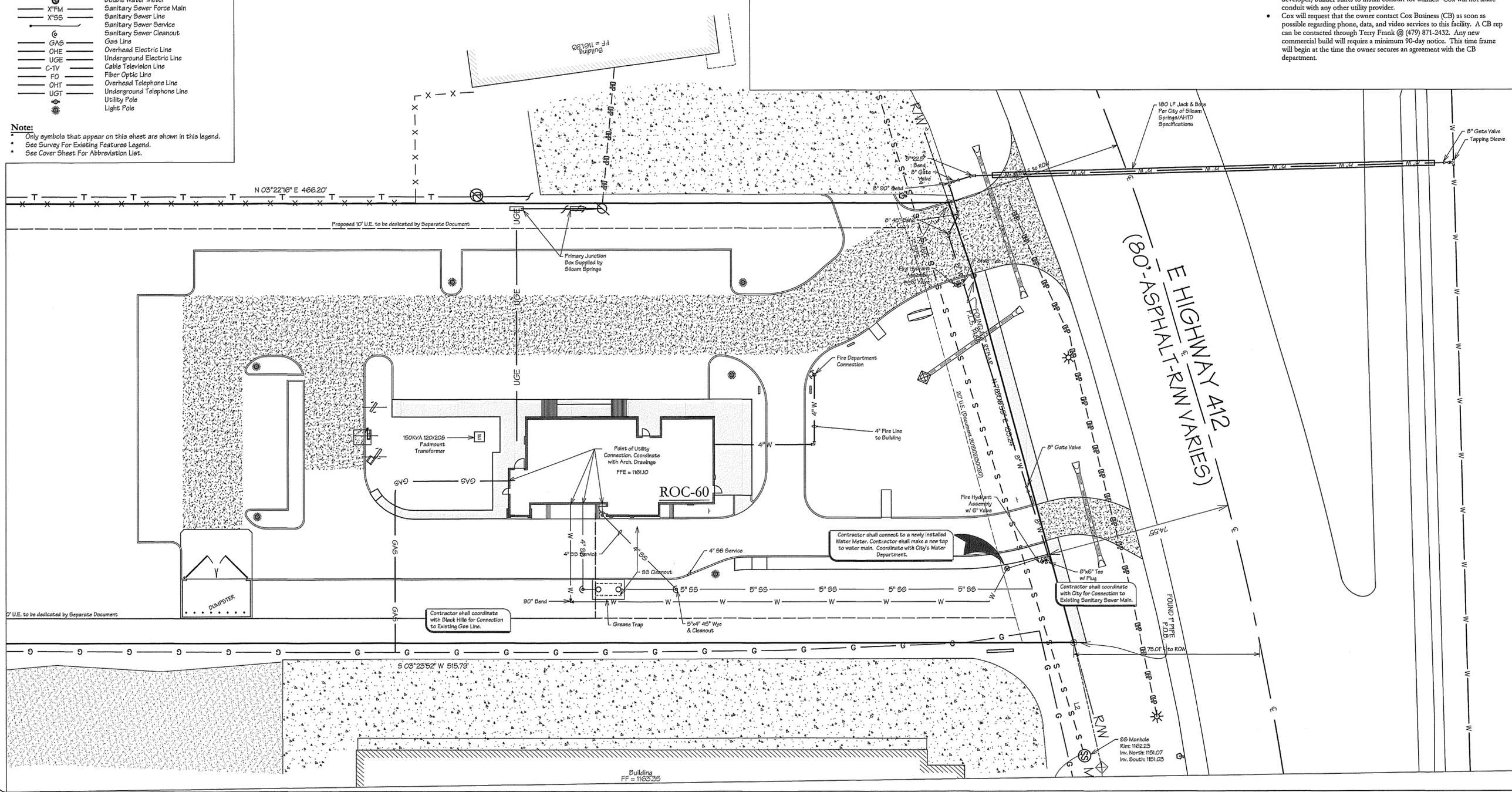
- X All sanitary sewer lines shall have 2'-6" min. cover above top of pipe.
- X All sanitary sewer lines shall be bedded in accordance with city standards and bedding detail, see detail sheet(s).



Cox Communication Notes:

- We will require a minimum 90 days' notice for any relocation of our facilities. This 90-day period will start once the electric provided has completed any required relocate and/or make-ready work, and payment has been received in full.
- Cox will request an on-site pre-construction meeting with the developer/builder to confirm conduit requirements and conduit locations. Please contact Terry Frank via e-mail to set up a date and time. Terry Frank will also need to be notified by e-mail as soon as the developer/builder starts to install conduit for utilities. Cox will not share conduit with any other utility provider.
- Cox will request that the owner contact Cox Business (CB) as soon as possible regarding phone, data, and video services to this facility. A CB rep can be contacted through Terry Frank @ (479) 871-2432. Any new commercial build will require a minimum 90-day notice. This time frame will begin at the time the owner secures an agreement with the CB department.

NO.	DATE	REVISIONS:	DESCRIPTION



Utility Plan

Large Scale Development for:
Burger King of Siloam Springs
 US-412
Terry Clark; L.W. Clark, Inc
 1509 Wesley Boulevard
 Springdale, AR 72764

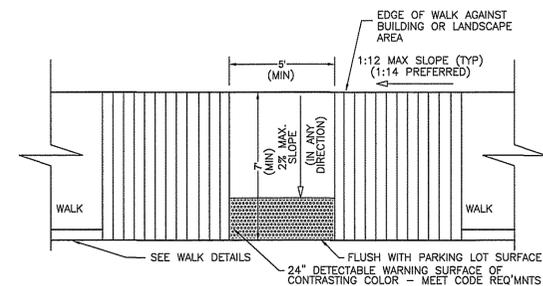
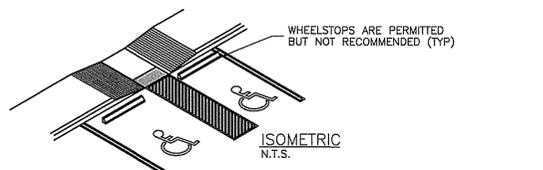
NOT FOR CONSTRUCTION FOR REVIEW ONLY!!!

BLEW & ASSOCIATES, PA
 CIVIL ENGINEERS & LAND SURVEYORS
 524 W. SYCAMORE ST, SUITE 4
 FAYETTEVILLE, ARKANSAS 72703
 OFFICE: 479.443.4506
 FAX: 479.582.1883
 www.BLEWINC.com

Certificate of Authorization No 1534

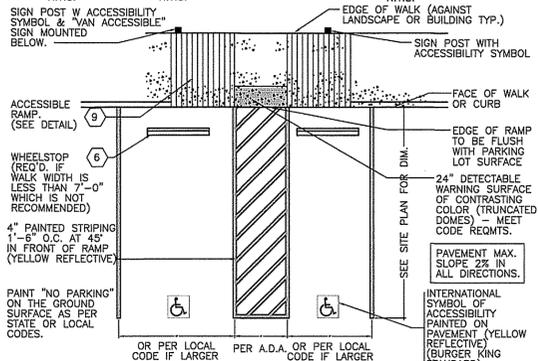
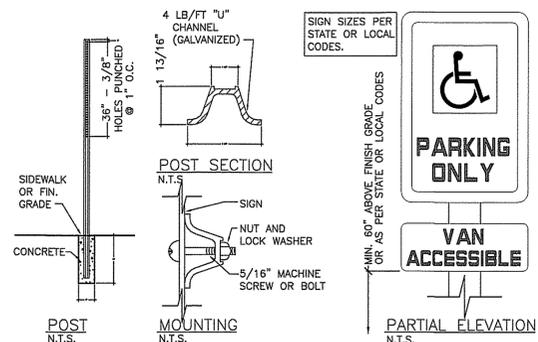
DRAWN BY: J. Du Quesne JOB NUMBER: 16-755
 SUBMITTAL DATE: 2016-08-02 SCALE: As Noted
 DRAWING NAME: 16-755 Civil 005.dwg
 SHEET NUMBER: C5

n:\projects\16-755 burger king siloam springs #2\civil drawings\16-755 civil 005.dwg - Plotted on 8/2/2016 12:23:03 PM @ a scale of 1:1 to hpr520-1.pcl by Jorge Du Quesne



ACCESSIBLE PARKING RAMP
SCALE: 1/4"=1'-0" OCTOBER 26, 2010 9

	BURGER KING CORPORATION	1 OF 1
SCALE 1/4"=1'-0"	ACCESSIBLE PARKING RAMP	
DATE 11/13/98		
REVISED 10/26/10		



ACCESSIBLE PARKING STALLS
SCALE: 1/8"=1'-0" OCTOBER 26, 2010 11

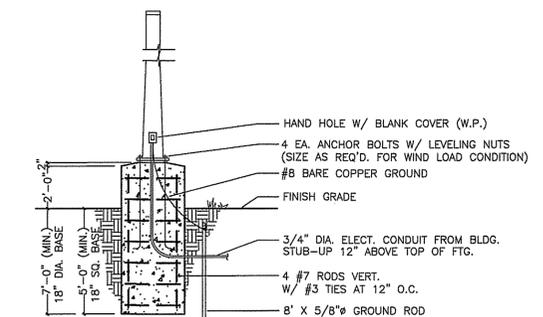
	BURGER KING CORPORATION	1 OF 1
SCALE AS NOTED	ACCESSIBLE PARKING STALLS	
DATE 7/15/88		
REVISED 10/26/10		

- SPECIFICATIONS**
- A. **LAMP**
- NEW CONSTRUCTION LIGHTING SHALL BE LED.
 - REMODELING LIGHTING MAY BE LED OR 1000W METAL HALIDE.
 - LAMPING MUST BE CONSISTENT THROUGHOUT THE SITE (NO MIXING TYPES).
 - ANY NEW FIXTURES MUST MATCH EXISTING.
- B. **LUMINAIRE**
- ONE PIECE NON-CORROSIVE METAL WITH BAKED-ON POWDER COATING.
 - COLOR: BLACK, BRONZE OR SILVER (MATCH POLES)
 - LUMINAIRE SHALL HAVE OPTIONAL BACKLIGHT SHIELDS PROVIDED TO CONTROL LIGHT SPILLAGE BEYOND PROPERTY LINES.
- C. **POLES**
- 24" POLES FOR 1000 WATT LUMINARIES OR LED'S
 - 28"-0" OVERALL HEIGHT WITH 18" DIA. ROUND OR SQUARE BASE.
 - POLE, FIXTURE AND BASE AS AN ASSEMBLY SHALL MEET WIND LOADING REQUIREMENTS OF ALL LOCAL CODES AND ORDINANCES.
 - ALL MOUNTING HARDWARE AND BASE PLATE COVER TO BE SUPPLIED BY MANUFACTURER.
 - POLES TO BE BLACK, BRONZE OR SILVER (MATCH LUMINARIES)
 - (UNPAINTED CONCRETE OR FIBERGLASS POLES ARE ACCEPTABLE ALTERNATES)
- D. **ILLUMINATION LEVELS**
- LED TO MAINTAIN A MINIMUM OF 4 FOOTCANDLE AVERAGE ACROSS THE SITE WITH 5700K TEMPERATURE AND 4:1 MAXIMUM CONTRAST
 - METAL HALIDE (ONLY FOR USE ON REMODEL SITES):
 - BALANCE OF SITE: 8 FOOTCANDLE AVG. MAINTAINED
 - SIDEWALKS: 8 FOOTCANDLES AVG.
 - ENTRANCES/EXITS: 8 FOOTCANDLES AVG.
 - D/T MENU BOARD: 8 FOOTCANDLES AVG.
 - TRASH ENCLOSURE: 8 FOOTCANDLES AVG.
 - PERIMETER OF SITE: 2 FOOTCANDLES AVG.
 - DESIGNED UTILIZING A LIGHT LOSS FACTOR OF .72
 - LIGHTING FIXTURE MANUFACTURER/SUPPLIER OR ARCHITECT/ENGINEER TO PROVIDE COMPUTER DESIGNED LAYOUTS.
- E. **ELECTRICAL REQUIREMENTS (PER MFR'S SPECS)**
- MULTI-TAP (120v-208v) LOW TEMPERATURE START BALLAST.
 - POLE GROUND:
 1. PROVIDE A 5/8" x 8'-0" LONG COPPER CLAD DRIVEN GROUND ROD WITH WIRE CLAMP ON BUILDING SIDE OF EACH POLE BASE.
 2. CAST A SINGLE #8 COPPER GROUND CONDUCTOR IN CONCRETE BASE. PROVIDE 5" OF SLACK AT EACH END.
 3. TIE LUMINAIRE GROUND AND POLE GROUND CONDUCTORS TO POLE GROUND LUG AND POLE CONDUCTOR TO DRIVEN GROUND ROD.

	BURGER KING CORPORATION	1 OF 2
SCALE NONE	SITE LIGHTING	
DATE 7/22/88		
REVISED 12/10/13		

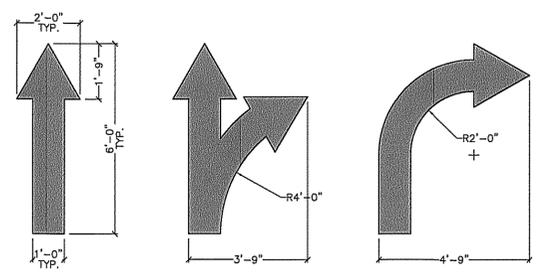
APPROVED SITE LIGHTING MANUFACTURERS & FIXTURES
REFER TO "LIGHT FIXTURE SCHEDULE" UNDER COMMON DOCUMENTS ON WWW.DESIGNWITHBK.COM WEBSITE FOR BUILDING LIGHTING

APPROVED MFRS.	SITE FIXTURE MODEL	LIGHT POLE
LIGHTING SYSTEMS INC. (LSI)	CROSSOVER SERIES XGB3 FT LED 176 450 CW UE	450-S11G 24" OR HIGHER (BLACK, BRONZE, OR SILVER)
	CROSSOVER SERIES XGB3 FT LED 128 450 CW UE	
	STERLING SERIES XSB FTX LED HO CW UE	
	GREENBRIAR SERIES GBR-1000SMV (REMODEL ONLY)	
CREE (RUUD LIGHTING INC.)	BETA LED SERIES STR LMY 4M AA 12 E UL 700	PS4S20C 24" OR HIGHER (BLACK, BRONZE, OR SILVER)
	BETA LED SERIES STR LMY 4M AA 06 E UL 700	
	VERTICAL SERIES VFT2499-M (1000W) (REMODEL ONLY)	
	CUT-OFF SERIES CF3499-M (1000W) (REMODEL ONLY)	
HERMITAGE LIGHTING	CF3499-M (1000W) (REMODEL ONLY)	
SECURITY LIGHTING	ASB LED SERIES ASBLEDL-FL-C-96-230-5K-T4-120-277	SSP-24"-DB-TT OR HIGHER (BLACK, BRONZE, OR SILVER)
	CIMARON LED SERIES CL1-A-90L-U-5K-3-105-PS	
	ASB SERIES ASB-1000MH-DB-MT (REMODEL ONLY)	



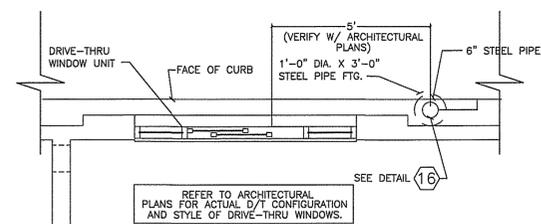
SITE LIGHTING
SCALE: 1/4"=1'-0" DECEMBER 10, 2013 14

	BURGER KING CORPORATION	2 OF 2
SCALE 1/4"=1'-0"	SITE LIGHTING	
DATE 7/22/88		
REVISED 12/10/13		



PAINTED TRAFFIC ARROWS
SCALE: 3/8"=1'-0" JULY 15, 1999 15

	BURGER KING CORPORATION	1 OF 1
SCALE 3/8"=1'-0"	PAINTED TRAFFIC ARROWS	
DATE 7/15/88		
REVISED 7/15/99		



GUARD POST @ D/T WINDOW
SCALE: 3/8"=1'-0" OCTOBER 26, 2010 17

	BURGER KING CORPORATION	1 OF 1
SCALE 3/8"=1'-0"	GUARD POST @ D/T WINDOW	
DATE 7/15/88		
REVISED 10/26/10		



DATE:	
REVISIONS:	
NO.	
DESCRIPTION	

Burger King Details

Significant Development for

Burger King of Siloam Springs US-412

Terry Clark; L.W. Clark, Inc

1509 Wesley Boulevard
Springdale, AR 72764

NOT FOR CONSTRUCTION FOR REVIEW ONLY!!!

BLEW & ASSOCIATES, P.A.
CIVIL ENGINEERS & LAND SURVEYORS

524 W. SYCAMORE ST, SUITE 4
FAYETTEVILLE, ARKANSAS 72703
OFFICE: 479.443.4506
FAX: 479.582.1883
www.BLEWINC.com

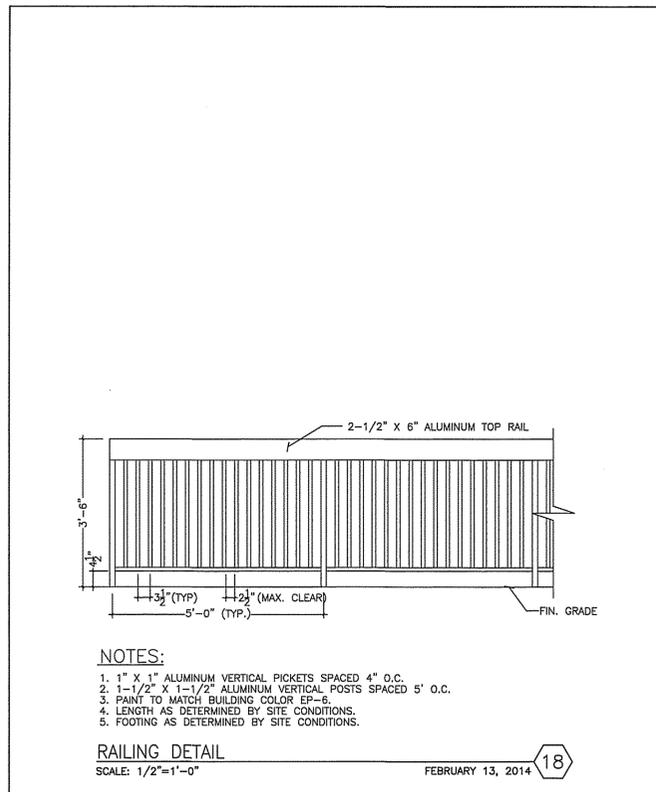
Certificate of Authorization No 1534

DRAWN BY: J. Du Quesne JOB NUMBER: 16-755

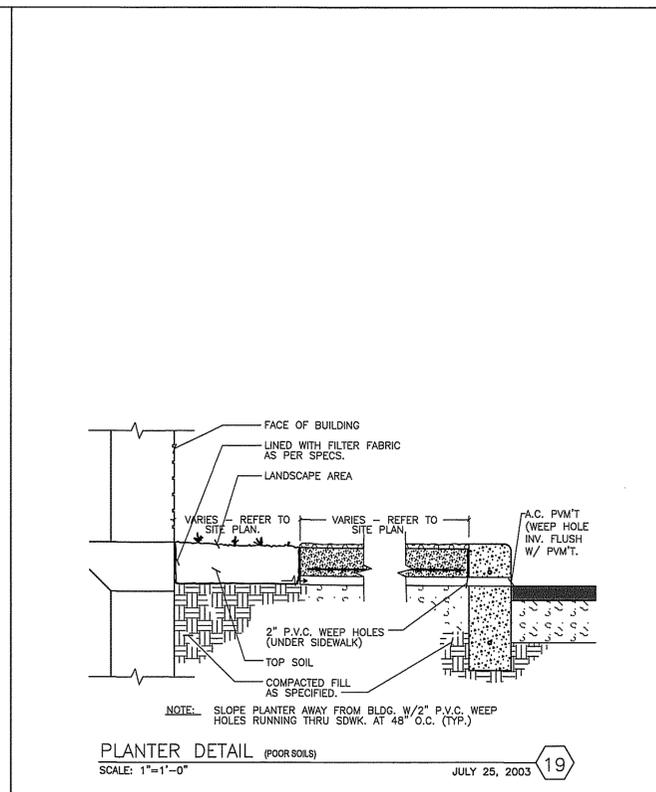
SUBMITTAL DATE: 2016-08-02 SCALE: As Noted

DRAWING NAME: 16-755 Details 005.dwg

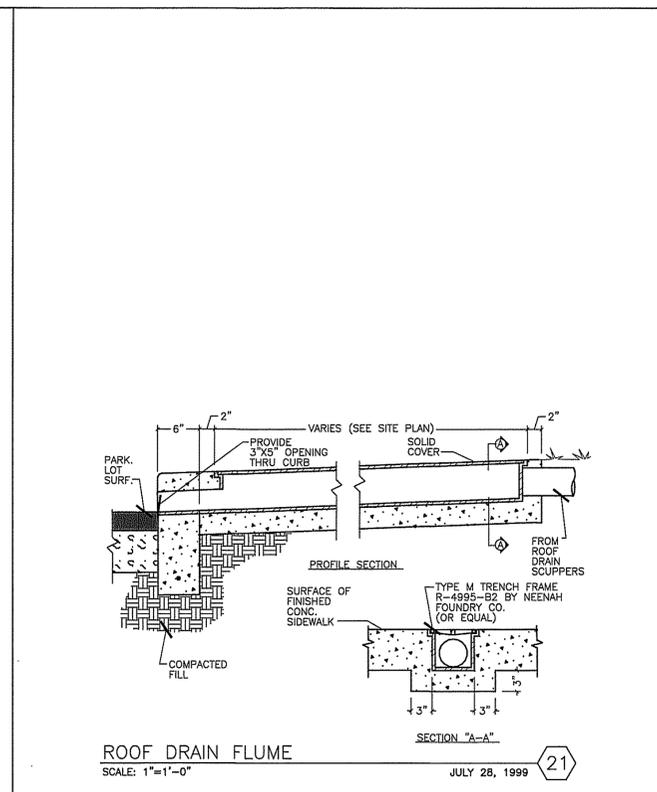
SHEET NUMBER:



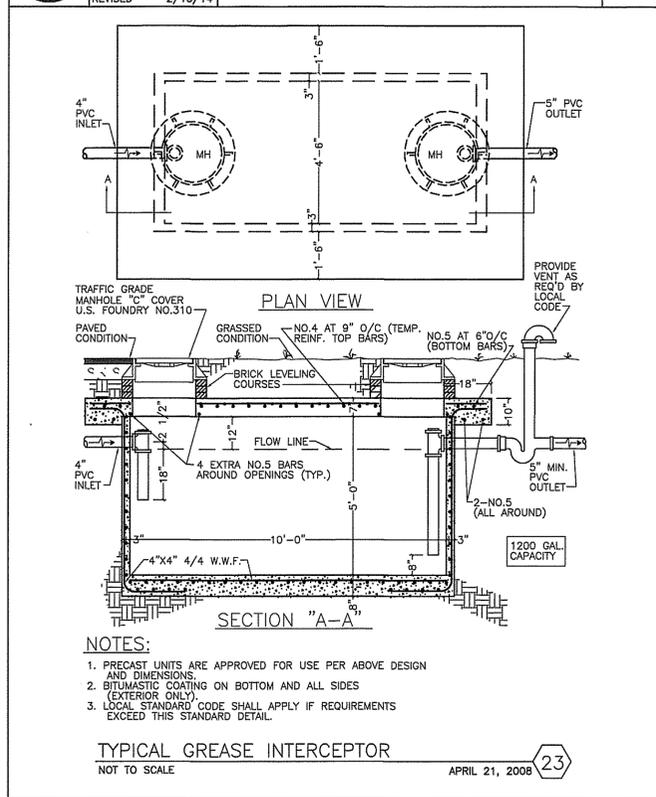
	BURGER KING CORPORATION		1
	SCALE	1/2"=1'-0"	OF
	DATE	7/15/86	1
	REVISED	2/13/14	



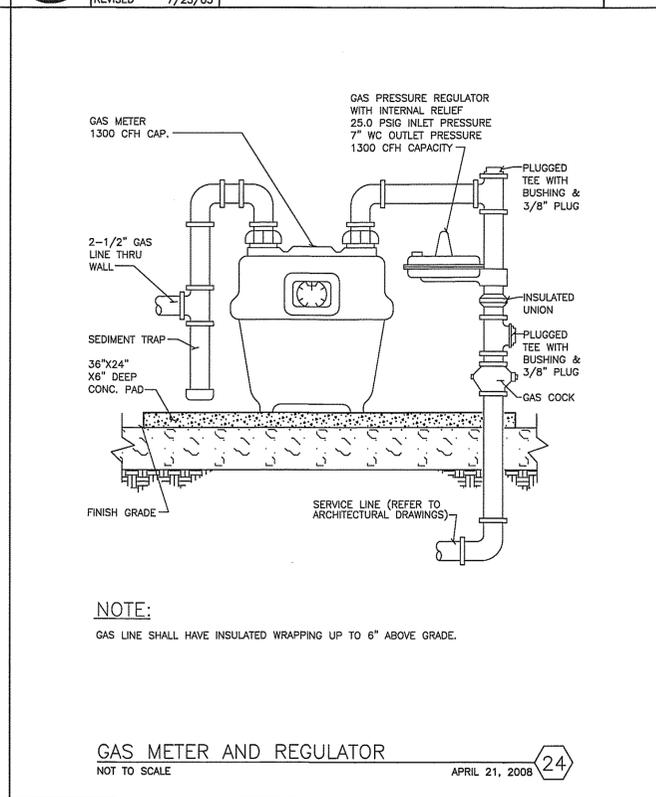
	BURGER KING CORPORATION		1
	SCALE	1"=1'-0"	OF
	DATE	7/15/86	1
	REVISED	7/25/03	



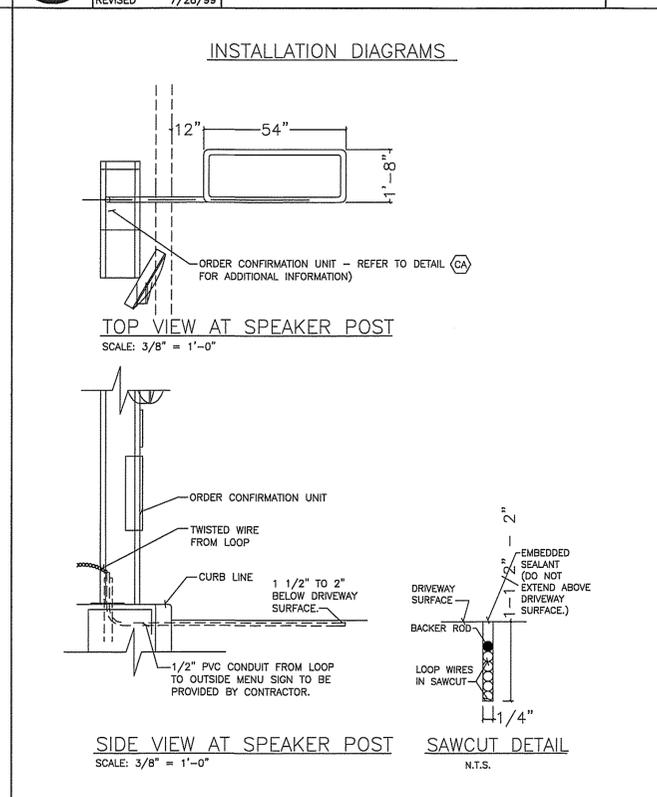
	BURGER KING CORPORATION		1
	SCALE	1"=1'-0"	OF
	DATE	7/15/86	1
	REVISED	7/28/99	



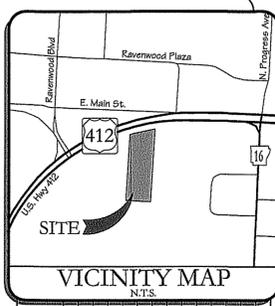
	BURGER KING CORPORATION		1
	SCALE	NONE	OF
	DATE	7/15/86	1
	REVISED	4/21/08	



	BURGER KING CORPORATION		1
	SCALE	NONE	OF
	DATE	7/15/86	1
	REVISED	4/21/08	



	BURGER KING CORPORATION		1
	SCALE	AS SHOWN	OF
	DATE	7/15/86	2
	REVISED	10/26/10	



DATE:	
REVISIONS:	
DESCRIPTION:	
NO.:	

Burger King Details

Burger King of Siloam Springs
US-412
Terry Clark; L.W. Clark, Inc
1509 Wesley Boulevard
Springdale, AR 72764

NOT FOR CONSTRUCTION FOR REVIEW ONLY!!!

BLEW & ASSOCIATES, P.A.
CIVIL ENGINEERS & LAND SURVEYORS
524 W. SYCAMORE ST., SUITE 4
FAYETTEVILLE, ARKANSAS 72703
OFFICE: 479.443.4506
FAX: 479.582.1883
www.BLEWINC.com

Certificate of Authorization # 1534

DRAWN BY: J. Du Quesne JOB NUMBER: 16-755
SUBMITTAL DATE: 2016-08-02 SCALE: As Noted
DRAWING NAME: 16-755 Details 005.dwg
SHEET NUMBER:

n:\projects\16-755 burger king siloam springs\16-755 details 005.dwg - Plotted on 07/11/16 @ 3:19 P.M. @ a scale of 1:1 to hpc520-1.ppt3 by Jorge Du Quesne

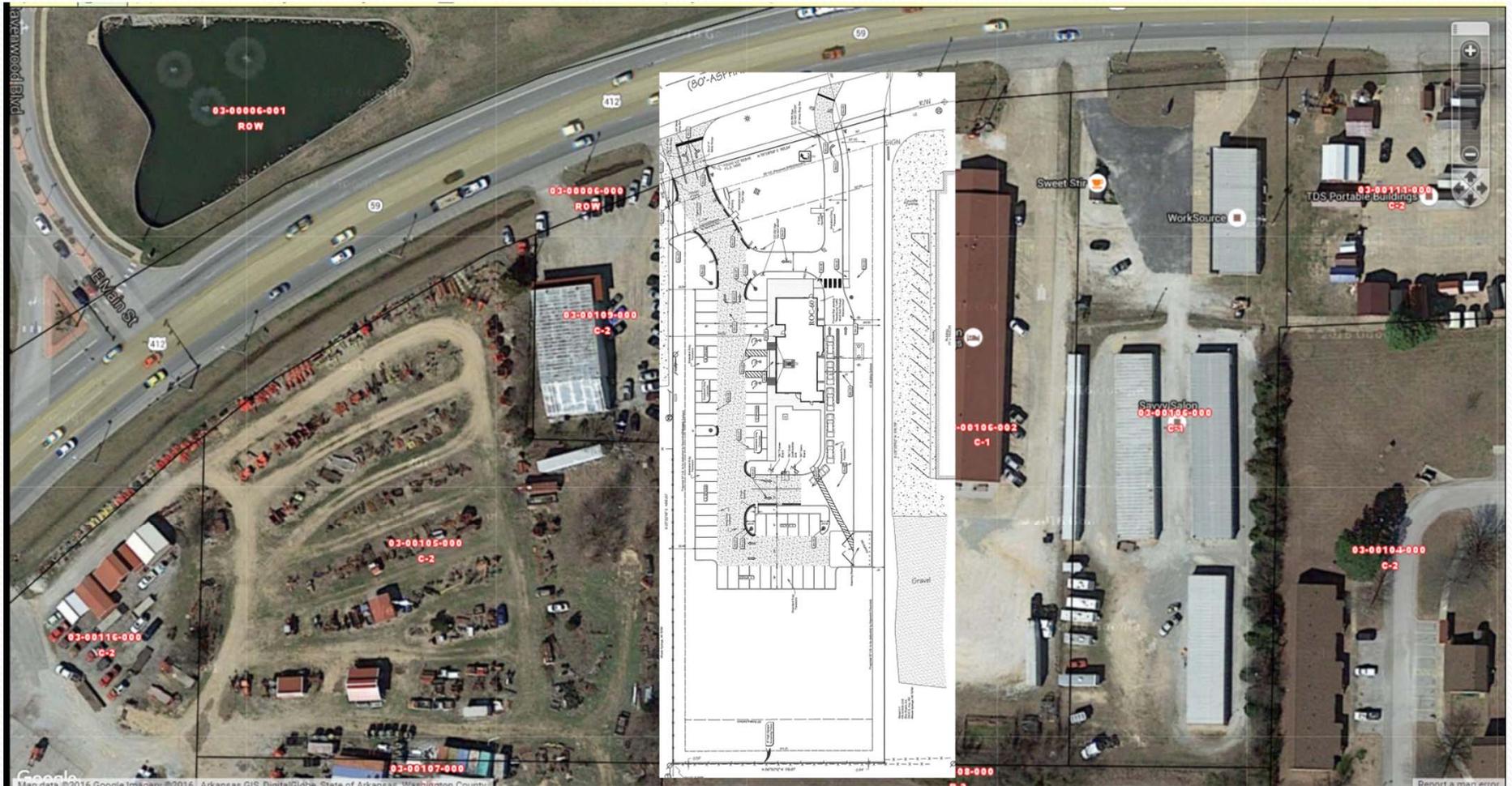
SD16-07 Burger King

Bird's Eye View



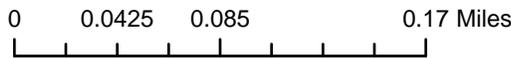
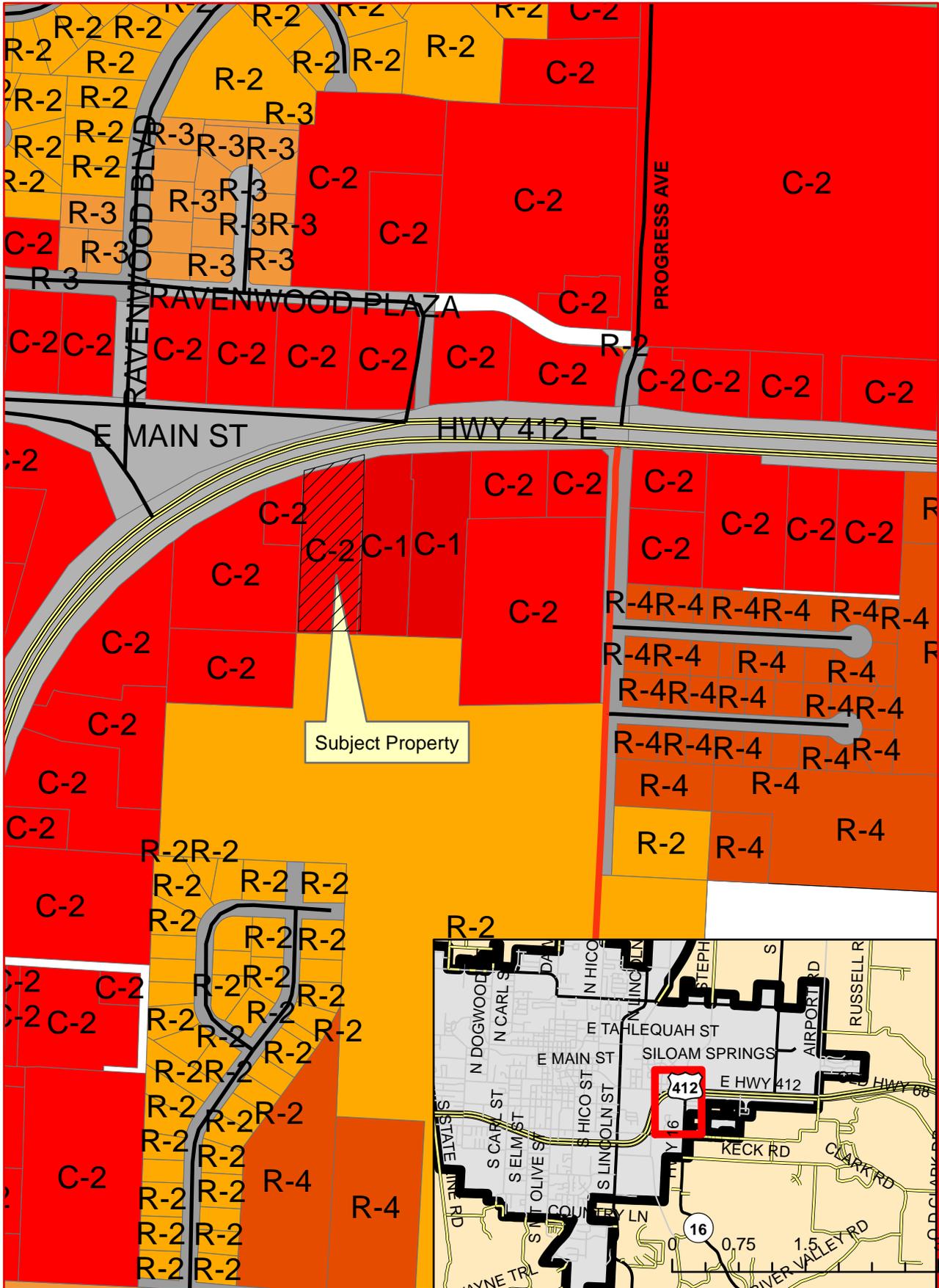
SD16-07 Burger King

Plan Aerial Overlay



GENERAL AREA MAP

Significant Development
SD 16-07



0.125 Miles